



This technical note has been issued to advise the plumbing industry about the current situation when providing live or dormant water and sewerage connections to houses or buildings on survey strata lots.

Background

Traditionally, services providers such as the Water Corporation have enforced the requirement for water and sewerage connections serving each lot in survey strata developments. Survey strata developments are sub-divisions of land where services such as water and internal drainage pipes may cross individual lot boundaries.

Issues

In some recent cases, these provisions have not been followed. This has resulted in consumers being disadvantaged when a lot closer to the water or sewer connection is serviced, but their lot is not. This often occurs when the lot closest to the connections is developed first. In such cases, the owners of subsequent buildings on the strata can incur substantial costs in obtaining their water or sewerage service connections (see Diagrams 1 and 3).

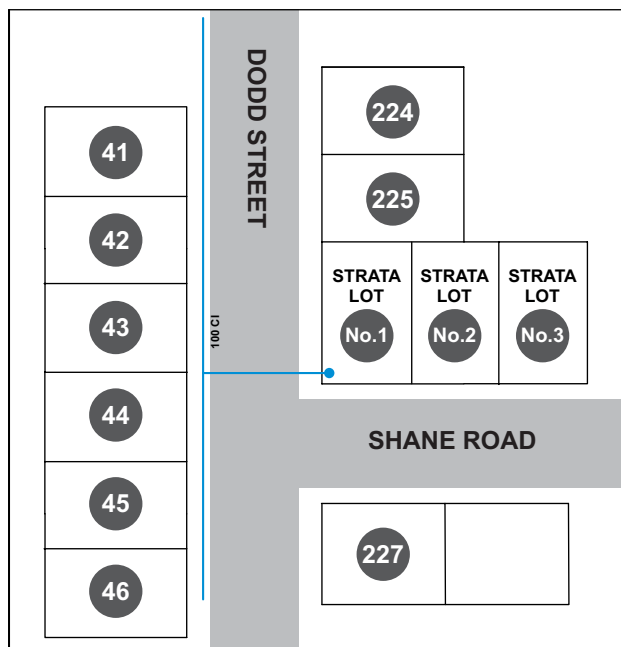


Diagram 1: Unsatisfactory allowance for water connection to lots 2 and 3.

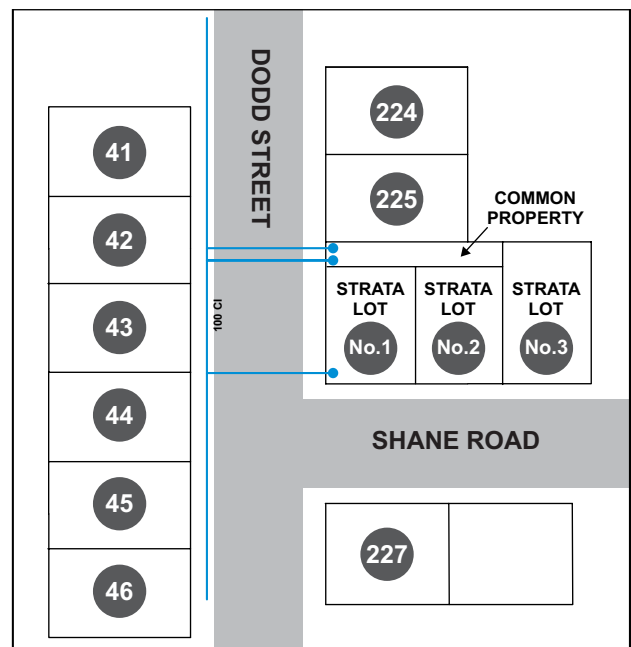


Diagram 2: Satisfactory allowance for water connection to all lots.

Although the developer is responsible for providing these services, licensed plumbing contractors have a responsibility to make both themselves and the developer aware of this potential situation. Therefore, the licensed plumbing contractor should check to see that provisions for both water and sewerage services have been made for the entire survey strata.

Current situation

Services providers no longer have a requirement to provide a connection for every lot in survey strata sub-divisions.

The developer is responsible for ensuring that all lots comprising the strata plan are capable of water and sewerage connections at all times and that strata services are not intrusive upon other lots to be sold as vacant strata lots. The developer is to take steps to ensure that each strata lot has access to all water and sewerage services regardless of the order in which construction is commenced on the individual lots.

To achieve this, the developer should either:

- engage a licensed plumbing contractor to install dormant water and drainage lines with invert levels at appropriate depths as per Diagrams 2 and 4 respectively. These are sections of internal plumbing laid in the ground for future building connection to the water or sewer mains;
- ensure that Water Corporation servicing points are accessible via common property; or
- create a suitable service corridor as an easement or strata by-law.

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The developer and the licensed plumbing contractor performing the plumbing work must ensure that clear access is provided for these services and concise 'as constructed' diagrams are produced.

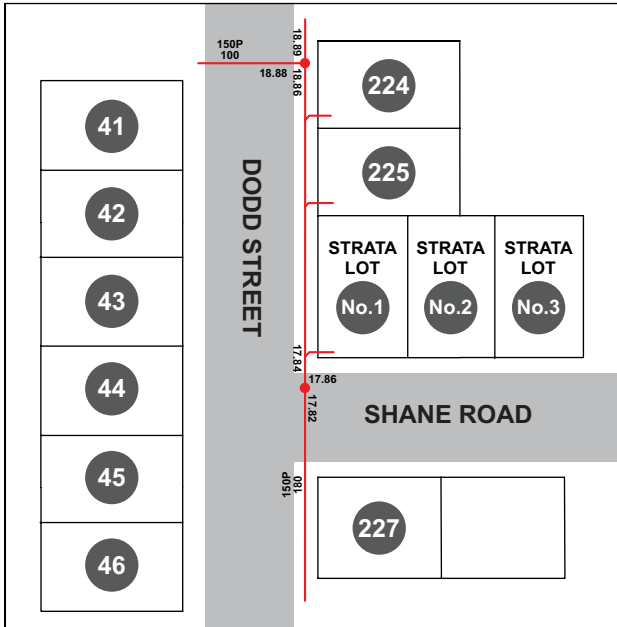


Diagram 3: Unsatisfactory allowance for sewer connection to lots 2 and 3.

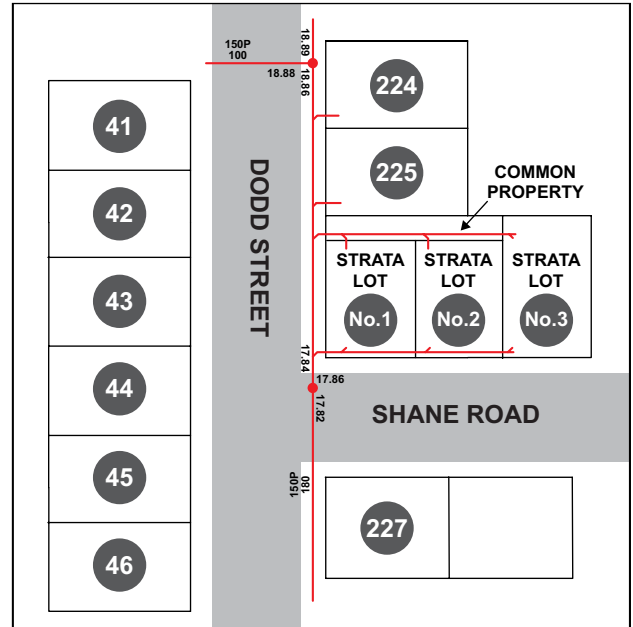


Diagram 4: Satisfactory allowance for sewer connection to all lots.

Further information

Additional information is available in the Water Corporation's Development Services Information Sheet 19, available from the Water Corporation website www.watercorporation.com.au

Notes

The technical note series is issued by the Plumbers Licensing Board to assist the plumbing industry to comply with the Plumbers Licensing and Plumbing Standards Regulations 2000 applicable to plumbing work in Western Australia.

Each technical note is to be read in conjunction with Part 6 of the Regulations that currently adopt the Plumbing and Drainage Standard AS/NZS 3500:2003 but modified in certain matters to suit the State's building approach and other local conditions.

Feedback

The Plumbers Licensing Board welcomes your feedback. If you have any questions on this technical note or any suggestions on any areas of plumbing work that the technical notes should cover, please contact the Board's Senior Technical Officer on (08) 6251 1377.

Copies

Technical notes are published at www.commerce.wa.gov.au/building-commission

Printed copies may be made available on request by telephone (08) 6251 1377 or email plbedu@commerce.wa.gov.au

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